

EAST AREA COMMITTEE MEETING – 31ST JULY 2014

Amendment De-brief Note

PLANNING APPLICATIONS

CIRCULATION: First

ITEM: APPLICATION REF: **14/0607/FUL**

Location: 1 Great Eastern Street

Target Date: 18th June 2014

To Note:

1. I apologise that the Inspectors decision on the previous application on this site was not attached to the Agenda. This has now been circulated separately.
2. Since the completion of the Committee report, comments have been received from the Council's Arboricultural officer. They are as follows.

The current scheme has taken on board previous reasons for objection and the layout of the rear element allows for greater defence of the retention of the adjacent Tree of Heaven should pressure be placed to the Council to remove it to reduce nuisance associated with its retention. It should be noted however the relationship between the tree and proposed building is still not ideal.

With regard to foundations and construction activity allowing the safe and healthy retention of the tree, again previous comments have been taken on board. The principle of the foundation design is acceptable but it has not been demonstrated that there are no roots within the zone of existing hardcore and concrete slab. Given the age of this area of hard standing it is possible that roots have managed to penetrate and at the distances involved, the removal of substantial roots to accommodate the slab will not be acceptable.

Should the application be granted permission, I would request standard tree protection conditions, but also that the submitted foundation detail is not approved in its entirety. The foundation design should only be approved following hand excavation of test pits to ascertain the extent of root growth.

The above advice requires changes to the tree protection conditions recommended on this application. I have indicated these changes below.

3. The printed minutes of the Development Control Forum held about this application are attached to this amendment sheet.
4. Since the submission of the Committee report, and in response to questions raised at the DCF, the applicant has submitted revised drawings showing the transfer of a portion of land from the application site to enlarge the rear yard of No.3 Great Eastern Street. I understand that these drawings have also been forwarded to the owners of No. 3 Great Eastern Street. The relevant sections of the revised drawings, showing this change, are attached to this amendment sheet.
5. Since the submission of the Committee report, and in response to questions raised at the DCF, the applicant has submitted shadow studies focussing on the rear gardens of Nos.3 and 5 Great Eastern Street. The shadow studies are for spring and summer, at non and 3pm. I have enlarged the key sections of these drawings and added them to the amendment sheet.

Amendments To Text:

Pre-Committee Amendments to Recommendation:

1. Delete Condition 14 and replace with the following:

‘14. Prior to the commencement of development and with reference to BS 5837 2012, details of the specification and position of all protection measures and techniques to be adopted for the protection of any trees from damage during the course of any activity related to the development, including foundation design, shall be submitted to the local planning authority for its written approval in the form of an Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP).

Reason: To protect the welfare of trees of amenity value. (Cambridge Local Plan 2006 policy 4/4)’

2. Delete Condition 15 and replace with the following:

‘15. Prior to commencement, a site visit shall be arranged with the retained arboriculturalist, developer and the Council’s Tree Officer to agree tree works and the location and specification of tree protection barriers and temporary ground protection.

The approved AMS and TPP shall be implemented throughout the development and the agreed means of protection shall be retained on site until all equipment,

and surplus materials have been removed from the site. Nothing shall be stored or placed in any area protected in accordance with this condition, and the ground levels within those areas shall not be altered nor shall any excavation be made without the prior written approval of the local planning authority.

Reason: To protect the welfare of trees of amenity value. (Cambridge Local Plan 2006 policy 4/4)

3. Renumber Condition 16 as Condition 17, and insert a new Condition 16 as follows.

'16. Notwithstanding any details of foundation design previously submitted, no work to create foundations for the buildings hereby permitted shall commence until test pits have been excavated by hand to ascertain the extent of the root growth of the adjacent protected Tree of Heaven, in accordance with a scheme agreed in advance with the Council's Arboricultural Officer. The results of the test pits shall be forwarded to the local planning authority and a revised foundation design to accommodate root growth revealed by the test pits shall be submitted to, and approved in writing by, the local planning authority before the commencement of foundation works. The foundations shall be constructed only in accordance with the approved final design.

Reason: To protect the welfare of trees of amenity value. (Cambridge Local Plan 2006 policy 4/4)

DECISION:

CIRCULATION: First

ITEM: APPLICATION REF: **14/1005/FUL**

Location: 97 Perne Road

Target Date: 26th August 2014

To Note: Nothing

Amendments To Text: None

Pre-Committee Amendments to Recommendation: None

DECISION:

CIRCULATION: First

ITEM: APPLICATION REF: **14/0658/FUL**

Location: 19 Mill Road

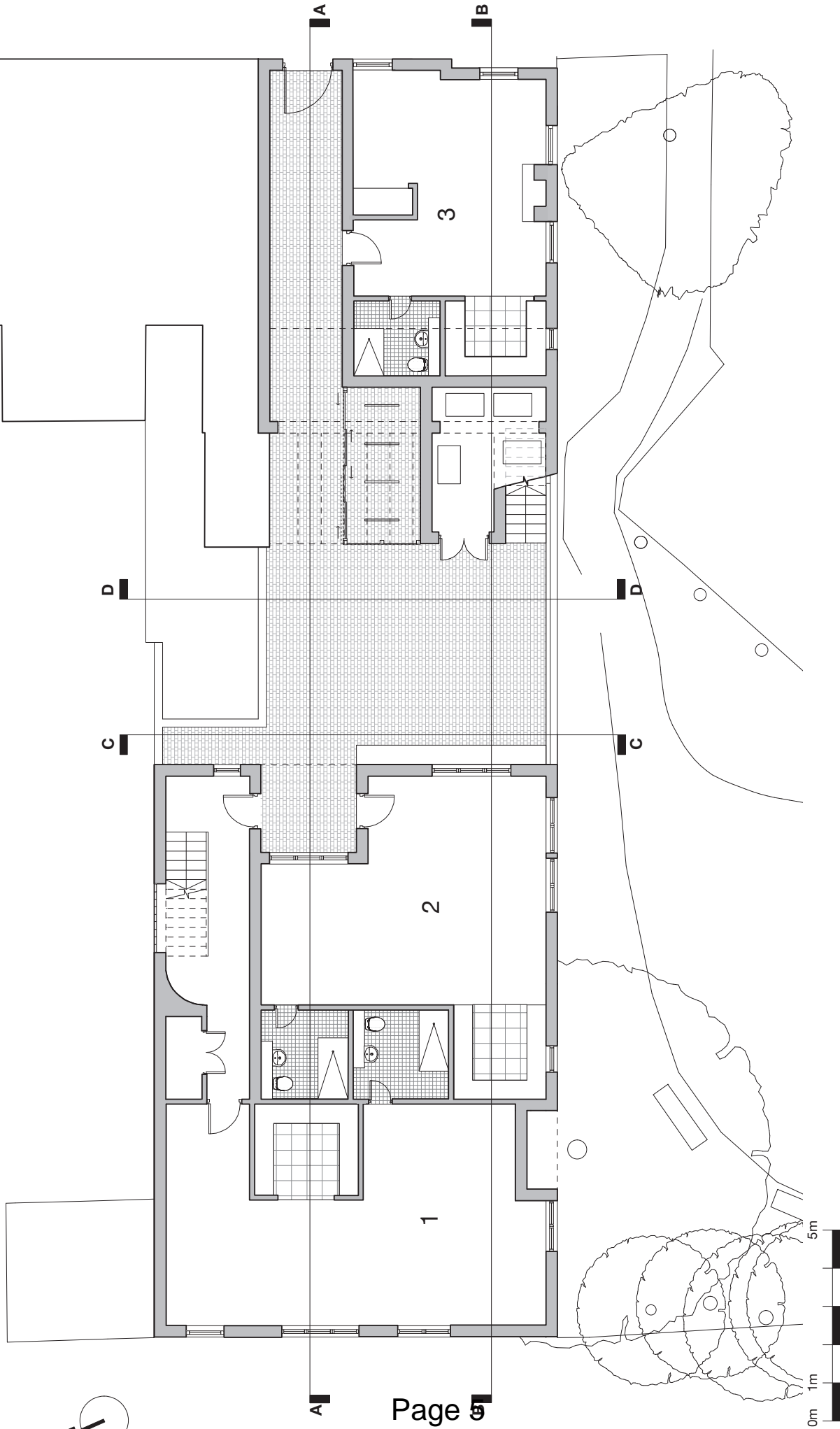
Target Date: 2nd July 2014

To Note: The location plan attached to the agenda for this application is very limited in its scope. A wider location plan, showing street names, has been added to the amendment sheet.

Amendments To Text: Nothing

Pre-Committee Amendments to Recommendation: None

DECISION:



NOTES:

Do not scale off drawing. All dimensions to be checked on site.
This drawing is to be read in conjunction with all other relevant consultants drawings and specifications

KEY:

PLANNING

21/07/14 A Addition of garden wall at Number 3

Date	Rev.	Notes

Project Title **Great Eastern Street**

Drawing No. **2446-P50**

Drawing Title **PROPOSED GROUND FLOOR PLAN**

Scale 1:100

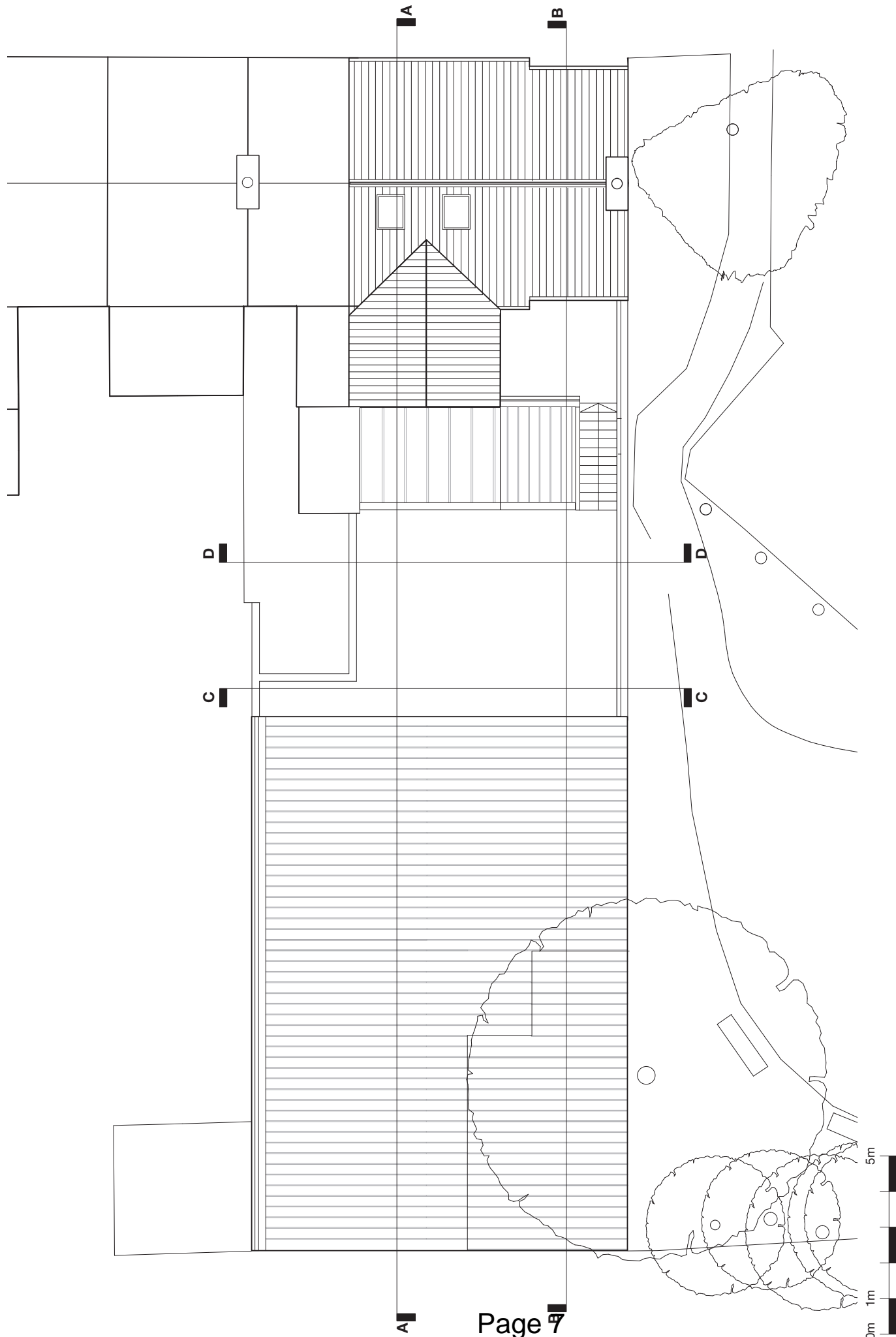
Status A3

Date JAN 2014

NRAP
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NOTES:
Do not scale off drawing. All dimensions to be checked on site.
This drawing is to be read in conjunction with all other relevant consultants drawings and specifications

KEY:

	- Slate roof
	- Corrugated Roof
	- Zinc roof

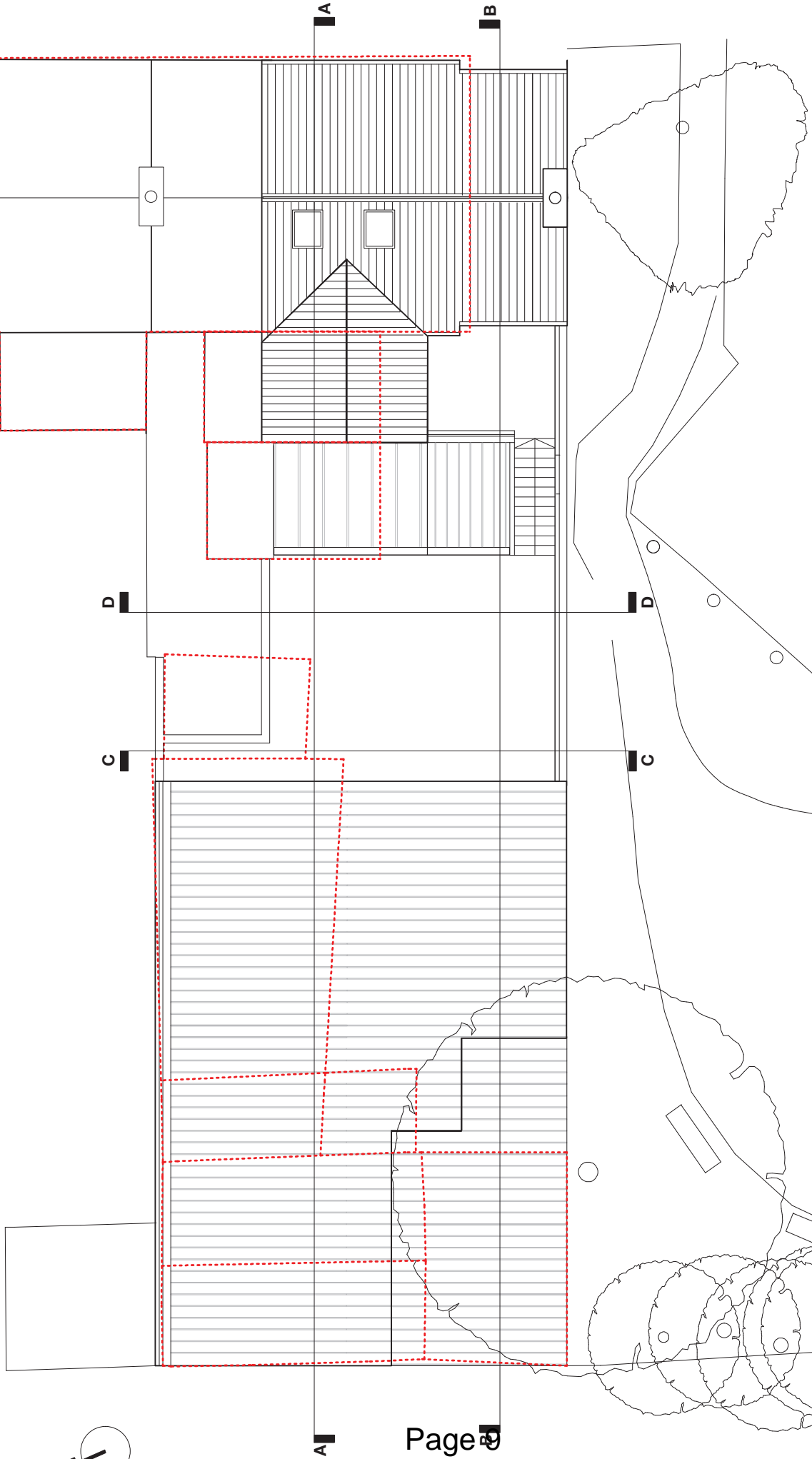
PLANNING

21/07/14	A	Addition of garden wall at Number 3	Date	Rev.	Notes

Project Title	Great Eastern Street
Drawing No.	2446-P53
Drawing Title	PROPOSED ROOF PLAN
Scale	1:100
Status	PLANNING
Size	A3
Date	JAN 2014

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NOTES:

Do not scale off drawing. All dimensions to be checked on site.
This drawing is to be read in conjunction with all other relevant consultants drawings and specifications

KEY:

-  - Slate roof
-  - Glass
-  - Zinc roof
-  - Existing roof plan

PLANNING

21/07/14 A Addition of garden wall at Number 3

Project Title **Great Eastern Street**

Drawing No. **2446-P54**

Drawing Title **COMPARATIVE ROOF PLAN**

Scale 1:100 Status A3 Date JAN 2014

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NRAP

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PLANNING

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Our ref: JMB
Your ref:

25th July 2014

Dear Amit

**14/0607/FUL CONVERSION AND EXTENSION TO EXISTING FRONTAGE BUILDING FROM OFFICE TO 1NO. FLAT AND 1NO. STUDIO FLAT; AND ERECTION OF 4 STUDIO FLATS TO THE REAR (FOLLOWING DEMOLITION OF EXISTING OUTBUILDINGS), TOGETHER WITH ASSOCIATED INFRASTRUCTURE
1 GREAT EASTERN STREET, CAMBRIDGE**

Please find attached the following set of amended plans regarding Gt Eastern Street.

P50	1:100	A3	Proposed Ground Floor Plan
P51	1:100	A3	Proposed First Floor Plan
P52	1:100	A3	Proposed Second Floor Plan
P53	1:100	A3	Proposed Roof Plan
P54	1:100	A3	Comparative Floor Plan
P55	1:100	A3	Proposed N & S Elevations
P56	1:100	A3	Proposed E & W Elevations & Sections C-C & D-D
P57	1:100	A3	Proposed Sections A-A & B-B
P63	1:100	A3	Proposed N Elevation Comparison
P70	-	A3	Enhanced Comparison Shadow Studies March (Equinoxes)
P71	-	A3	Enhanced Comparison Shadow Studies June (Midsummer's Day)

Following on from the published minutes of the DCF which records Members asking two particular questions which arose from comments made by the petitioners, namely:

51. *Queried if the applicant would consider providing additional land to No 3 Great Eastern Street to extend the size of the courtyard to reduce the feeling of enclosure.*

Directors: A list of Directors is available on request.

Januarys is a trading name of Januarys (Cambridge) Limited registered in England No. 02604913
Registered Office: York House, 7 Dukes Court, 54-62 Newmarket Road, Cambridge CB5 8DZ VAT No. 844 2715 27
Office also at: Coach House 2, Limpscombe, Lamport, Northampton, NN6 9HF

52. Questioned if a compromise could not be met in extending the boundary of the courtyard to No 3

As indicated in the minutes from the DCF, the applicant indicated that they would reflect on the points raised.


After careful deliberation the applicant is willing to amend the boundary adjacent to the rear courtyard of no.3, thereby increasing the depth of their courtyard to by 2m (from 2.5 m approx. to 4.5m). This is reflected in the amended plans. In the event that planning permission is approved and the scheme implemented, the land would be transferred to the neighbour's ownership for a nominal fee. The applicant would expect to deliver the scheme in accordance with the amended plans, which clearly show a revised boundary being 1m from the proposed building.

This alteration should not affect officers' key assessment of the sense of enclosure of the proposed development on the rear court yard of no. 3. However, when considering the amenity of the neighbour in more general terms, the extension of their courtyard by 2m (from just 2.5m) will be beneficial and will enhance the level of amenity afforded to the neighbouring occupier, providing a much more useable open space, and enhancing the feeling of space within the courtyard.

Please note we will be informing no. 3 of this alteration, but it is not a point of negotiation. They will comment on the application as they see fit. In the event that it is decided that the land is not wanted, the applicant will have to regularise this through a revised submission to the LPA. The applicant has made this commitment in good faith as part of the mediation process which is integral to the DCF. The land in question is currently occupied by a single storey building. To avoid any misunderstandings, the land can only be delivered upon the implementation of a planning consent.

As agreed as part of the DCF, we also have some enhanced shadow studies, included in the table above, which show in closer detail, shadowing resulting from the proposed two storey building (focusing on the courtyard garden of no.3) compared to that created by the existing arrangement of buildings. The previous appeal scheme was considered to be acceptable in terms of its relation to no. 5 and this scheme can be regarded as a betterment. Similarly, shadowing of the rear courtyard of no. 3 was previously not regarded as being grounds of concern when the previous appeal scheme was assessed, but hopefully the information now provided is considered informative.

Yours sincerely



Justin Bainton BA (Hons), Dip TP, MSc, MRTPI
Associate Director
Enc.

CC. Tony Collins

DEVELOPMENT CONTROL FORUM9 July 2014
10.00 - 11.30 am**Present:** Councillors Blencowe, Baigent, Sinnott & SmartPrincipal Planning Officer (Chair): Tony Collins
Planning Officer: Amit Patel
Committee Manager: Claire Tunnicliffe**For Applicant:**Applicant Representative: Justin Bainton, (Januarys)
Applicant Representative: Jonathan Collins (Architect for applicant).**For Petitioners (in objection):**Lead Petitioner: Deborah Griffin
Resident: Sue Wright
Resident: Matt Hartman**FOR THE INFORMATION OF THE COUNCIL****1 Introduction by the Chair**

The Chair outlined the role and purpose of the Development Control Forum. Those present were informed that no decisions would be taken at the meeting.

2 Declarations of Interest

No declarations were declared.

3 14/0607/FUL

Committee: East Area Committee

Date: 9 July 2014

Application No: 14/0607/FUL

Site Address: 1 Great Eastern Street, Cambridge, CB1 3AB

Description: Conversion and extension of existing frontage building from office to 1no. flat and 1 studio flat; and erection of 4 studio flats to the rear (following demolition of existing outbuildings), together with associated infrastructure.

Applicant: Anglia Property Preservation

Agent: Justin Bainton, Januarys Consultant Surveyors

Address: York House, 7 Dukes Court, 54-62 Newmarket Road,
Cambridge, CB5 8DZ

Lead Petitioner: Deborah Griffin

Address: 5 Great Eastern Street, Cambridge, CB1 3AB

Case Officer: Amit Patel, Planning Officer

Text of Petition:

The proposed development is an overdevelopment of a constrained site. Six residential units are planned on a site of one small Victorian house. The proposed new building is more than double the volume of the existing buildings. This will be visible from Mill Road and detract from the character of the conservation area. The size of the development will also be detrimental to nos 3 & 5 in particular whose properties will be dominated by the large brick building creating a feeling of enclosure and oppression. Views of trees and skies from the windows and gardens of these properties will be depleted especially to the north and north-east where the building will extend twice as long as the existing buildings. As the current buildings to the west and south of nos 3 & 5 are lower and narrower, it is difficult to see how the applicants shadow drawings conclude that shadow conditions are broadly similar.

The new buildings will present large expanses of brick where in contrast with the largely wooden structures of the existing structures.

Do you think there are changes that could be made to overcome your concerns?

If Yes, please explain:

The development should be built within the volume of the existing buildings which will still allow the site to have four dwellings.

Case by Applicants:

1. Acknowledge the concerns of the local residents and aware of the issues raised by the petitioners which why the architect for the agent is present to address any concerns and answer queries.
2. The site frontage is currently occupied as offices by the applicant, Anglia Property Preservation (APP), with buildings at the rear used for storage.
3. The application would remove commercial use from this site and is for 4 studio flats at the rear of the site with a conversion and extension of the current building to 1 flat and 1 studio flat.
4. The application would restore the site to the original residential use and is a reduction to the appeal scheme which was for 6 studio apartments, a total of eight residential units.

5. APP has occupied the site for over 31 years as a family business and in order to continue trading require larger premises.
6. Income from the sale of the site is needed for the new premises or could face decline due to stagnation.
7. If the business remained on site the applicant would be forced to grow the business from the existing location but would not be financially viable to upgrade the site.
8. The applicant wishes to develop in an efficient manner whilst respecting the constraints of the site and is conscious to ensure that the impact on neighbouring properties is comparable with the existing building.
9. The Inspectorate's report of the appeal scheme did not state that the proposed development should be confined within the existing footprint or volume of the existing site and reported the environment of the neighbouring properties "would not change significantly worse".
10. The Inspectorate's report stated that the outlook of the courtyard should not be reduced.
11. The footprint of the proposed development has been moved 600m further back from the courtyard of No 3 Great Eastern Street. The single storey element on the site overlooking the courtyard would also be removed.
12. The proposed development would be 1.9 meters away from No 3 Great East Street.
13. Unit four (the studio flat) of the proposed development has been stepped back from the boundary to allow a better relationship to the tree of Heaven. The tree was highlighted as an area of concern in the Inspectorate Reports. All units are now dual aspects so that the tree of Heaven will not impact the natural light into the properties on site, a previous area of concern.
14. Shadowing reports undertaken from the measurements of the proposed development compared to the existing shadowing that this will be no worse.
15. Unit four (the studio flat) has been stepped back of the boundary to allow a better relationship to the tree of Heaven. All units are dual aspects so that the tree of Heaven will not impact the natural light into the properties on site.
16. Adjacent to No 5 and the rear of the courtyard all built up areas will be removed.
17. The development would be of high quality materials.

Case by Petitioners:

18. The owner of No 3 Great Eastern Street has previously spoken before a Development Control Forum in 2011.
19. This is the fourth application for this site; one of which was dismissed on Appeal.
20. Acknowledged that there have been minor improvements in the present application but still represents over development of a small site.
21. The size of the proposed development is overbearing particularly for the neighbouring properties of No 3 & No 5 Great Eastern Street.
22. The proposed development negative impact on the small courtyard of No 3 Great Eastern Street.
23. Support the principal of returning the existing house at No 1 Great Eastern Street to its original residential use. But the current plan for an increase in the existing footprint to incorporate 2 flats and the proposed additional 4 studio apartments at the rear of the site would double the volume of the site.
24. Both No 3 and No 5 Great Eastern Street would suffer from an increased feeling of enclosure.
25. The development would exacerbate parking congestion and would impact on the entire street.
26. Proposed that the site of No 1 Great Eastern Street could include off street parking for the proposed development (not including the flats to the rear).
27. Questioned how the applicant is going to guarantee that the new residents do not have a car.
28. The proposed development is in a conservation area and the development will change the character of the street.
29. Contravenes the aims and objectives of policies 3/4, 3/7, 3/10, 3/12, 3/14, 4/4, 4/11, 5/2, 8/2 of the Cambridge City Local Plan 2006.
30. Contravenes Planning Policy Statement 3: criteria to be considered are whether [design is] well integrated and complements the local area in terms of: scale, density, layout and access and integrated car parking space.
31. Although the replacement building is 0.6m shorter than the existing building is stepped further back by 1.9m from the rear courtyard to No 3 Great Eastern Street; with a reduction in the eaves height of 150mm on the boundary of No 5 Great Eastern Street, compared to the Appeal scheme, there are still the following issues:
 - Along the northern boundary, fronting No 5 Great Eastern Street, the roof levels are 400mm above the mono-pitch ridge of the existing building but the roof line rises a further 2 metres to the south. This would have a

significant adverse impact on the light in the courtyard of No 3 Great Eastern Street, as the area is so small.

- The application does not show the impact of more than doubling of the width of the building facing the gardens of No 3 and to the lesser extent No 5 Great Eastern Street.
32. The view from the courtyard of No 3 Great Eastern Street would be replaced by a solid building.
33. The flat roof of the bathroom of No 3 Great Eastern Street is shared with the existing structure of No 1 Great Eastern Street which is proposed to be demolished and questioned what impact this would have.
34. The building currently facing No 3 Great Eastern Street is a wooden outbuilding, covered by vines for 6 to 8 months of the year. This would be replaced by a building twice the width and 1 metre higher to the south in white render which would have a significant adverse impact.
35. The shadow analysis does not make sense as this is not what is experienced in the courtyard of No 3 Great Eastern Street.

Case Officers Comments:

36. The application was received on 23 April 2014.
37. Site notice was posted on 14 May 2014 and placed in the press on 16 May 2014.
38. Have received representation in objection from eight neighbouring properties, the main issues raised are as follows:
- Principle of the development
- Overdevelopment of the site
 - Lack of residential amenities
 - Out of character with the surrounding area
 - Out of scale with the neighbouring properties
 - Loss of trees
- Residential Amenities
- Loss of privacy
 - Increase in noise.
 - Sense of enclosure
- Highways issues
- Increase in traffic
 - Level car parking provided is inadequate.
39. Consultation responses as follows:
- Highways: Noted that the proposal does not provide off street car parking for the additional properties but will not have a significant impact on highway safety. Have recommended conditions
 - Environmental Health: Recommended conditions

- Urban Design Conservation Team: Recommended conditions

Questions and Comments to the Applicant & Petitioner:

40. Can the applicant of No 3 Great Eastern Street enter their property from the back?
41. What is the density of the proposed development?
42. What is the density of the proposed development compared to the current permitted development?
43. Has a bin storage area and cycle storage been incorporated in the development and how will relate to the space.
44. What is the size of the courtyard of No 3 Great Eastern Street?
45. What does percentage of the courtyard would be covered by shadowing from the proposed development?
46. Would the new residents have right of access to the public car park?
47. Expressed concern that the white rendering of the new wall could reflect the sunlight into the garden of No 5 Great Eastern Street increasing the heat of the space.
48. Questioned whether the proposed developments take away the vision of sky if you stood in the courtyard and looked to the left and requested further information on this and suggested a sight vision.
49. Queried how would the emergency services gain access into the four flats at the back of the site and requested further details be made available?
50. Stated that it was difficult to gauge from picture to show how much light would be lost into the courtyard of No 3 Great Eastern Street.
51. Queried if the applicant would consider providing additional land to No 3 Great Eastern Street to extend the size of the courtyard to reduce the feeling of enclosure.
52. Questioned if a compromise could not be met in extending the boundary of the courtyard to No 3 Great Eastern Street.

Response to the Questions and Comments:

53. The owner of No 3 Great Eastern Street cannot access the courtyard from the back.
54. There has never been access to the courtyard of No 3 Great Eastern Street.
55. The density has not been considered and there is no obligation to do so under the National Planning Policy Framework or the Local Plan. However the Planning Officer would calculate this and e-mail the dimensions to the East Area Committee.
56. Shared pedestrian access will be provided into a courtyard area where there will be provision had been provided to store eight cycles, the bins

- on site will service all of the development. The intention is to build up to the border of the existing public car park.
57. The public car park is owned by Cambridge City Council and the new residents would not have right of access.
 58. The owner of No 3 Great Eastern Street states that the courtyard is less than 3 x 3 metres
 59. The agent will provide an enhanced version of the shadow study which will be placed on public access as cannot answer the question regarding the loss of light to the courtyard of No 3 Great Eastern Street.
 60. Agreed that there could be a condition to the materials and / or colour of the rendering. There is also an opportunity to plant trees behind the wall which would enhance the view from the courtyard.
 61. The access for emergency services would be gained through the car park. The design meets the current fire safety regulations but noted that further details had been requested.
 62. The extension of the courtyard had not been discussed but the applicant has focused on the Planning Inspectorate's comments from the appeal scheme to negate the issues raised.

Summing up by the Applicant:

63. Would take away the points of clarification to look at.
64. Would reflect on the points raised by the petitioners and discuss the issues further in consultation with Officers and the best way on how to take these issues forward.

Summing up by the Petitioners:

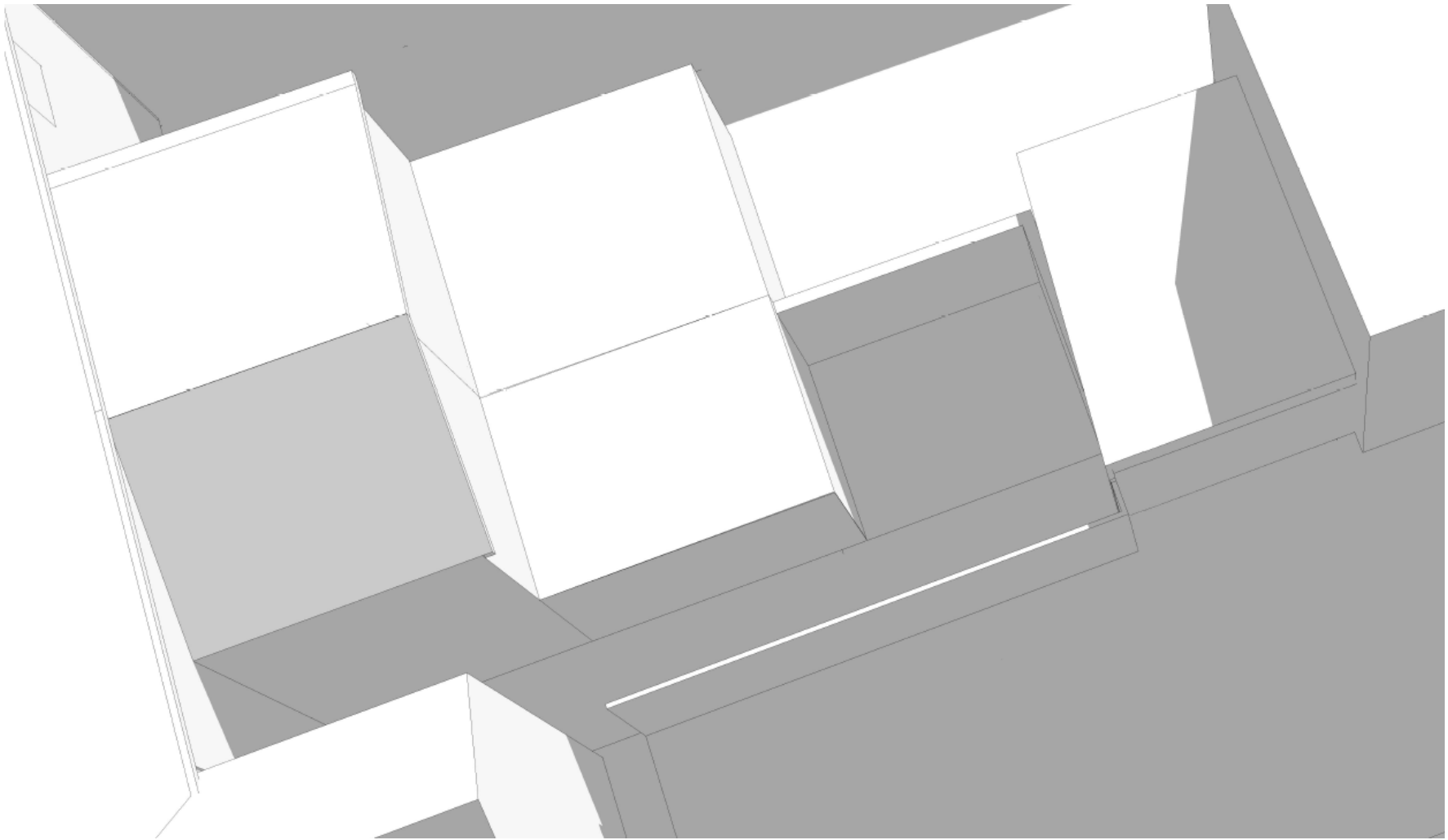
65. The proposed development is missed opportunity to improve and build on the existing character of the area in a bid to maximise profit from a constrained site.
66. Propose that the development is built on the foot print of the existing site.
67. Does not address the issue of the shared roof.
68. There is sufficient land on the site of the proposed site for car parking to be integrated into the scheme.
69. Reducing the number of flats proposed and integrating car parking within the application would reduce the following associated risks:
 - Access for emergency vehicles
 - On-street parking congestion
 - Access for disabled persons
 - Access for pedestrians
 - Reduction in the loss of light from proximity of proposed build to neighbouring property.

Final Comments of the Chair:

71. The Chair confirmed that the notes of the Development Control Forum would be made available to relevant parties and would be reported to the East Area Committee when the application is reported to them.

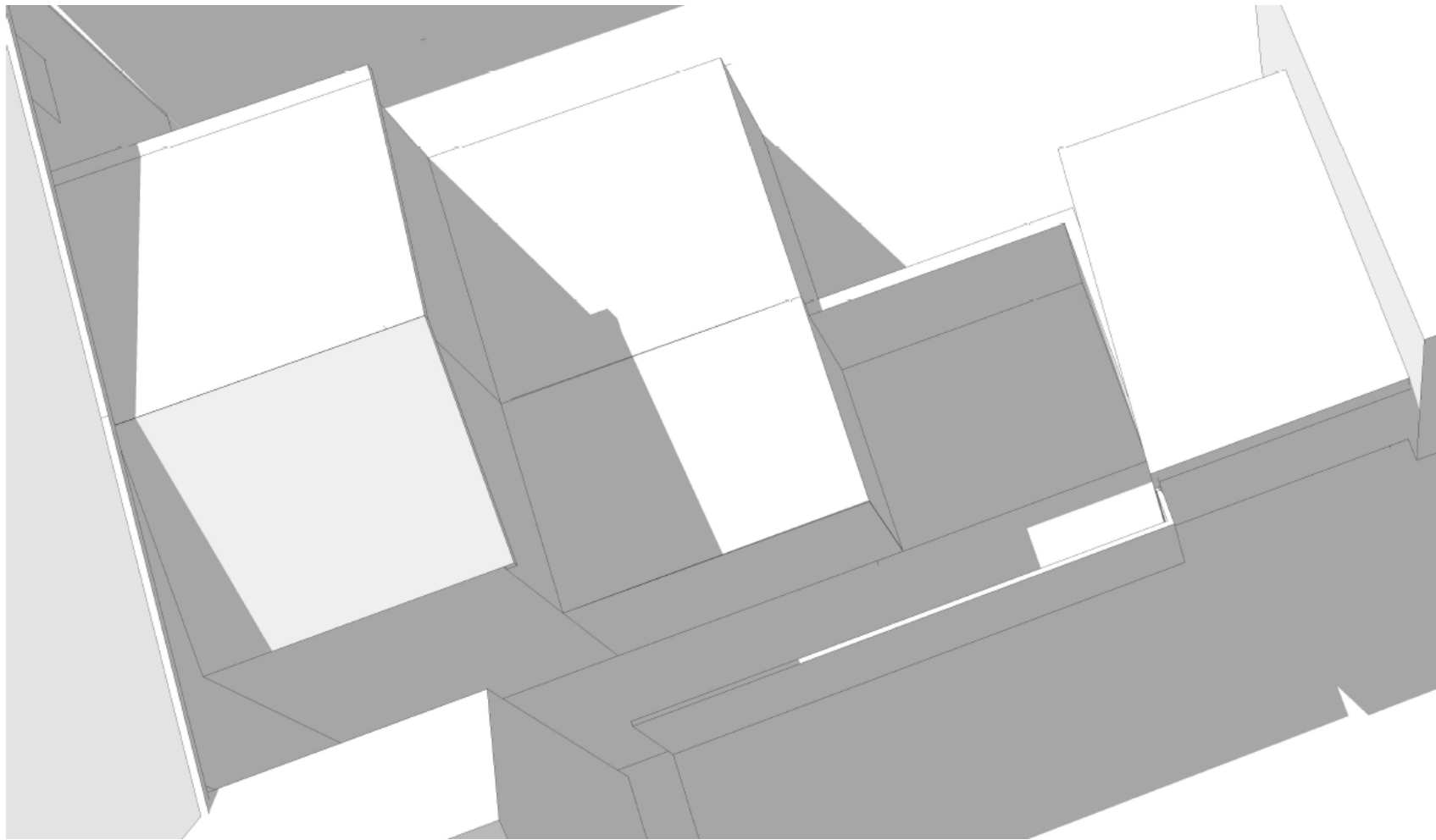
The meeting ended at 11.30 am

CHAIR



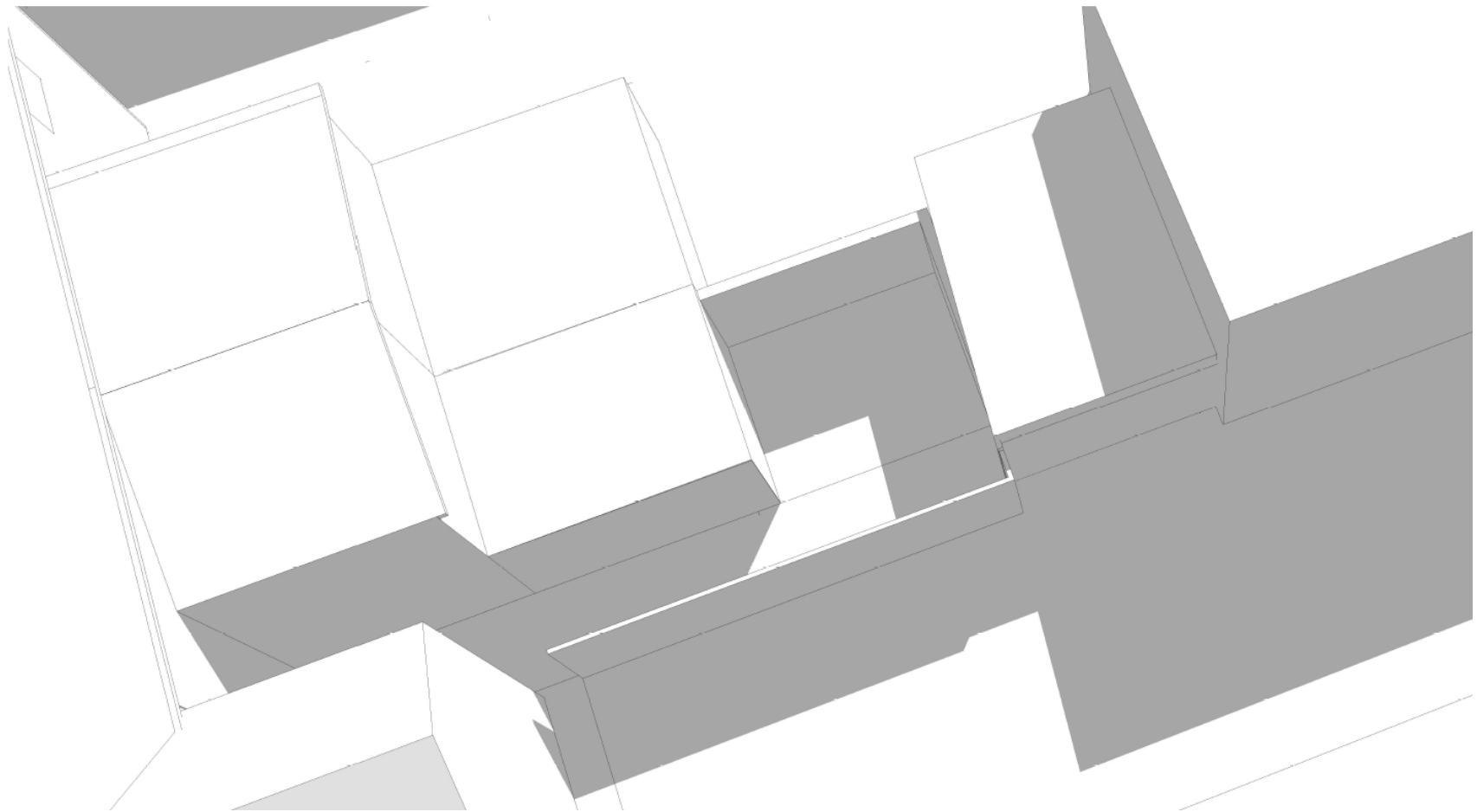
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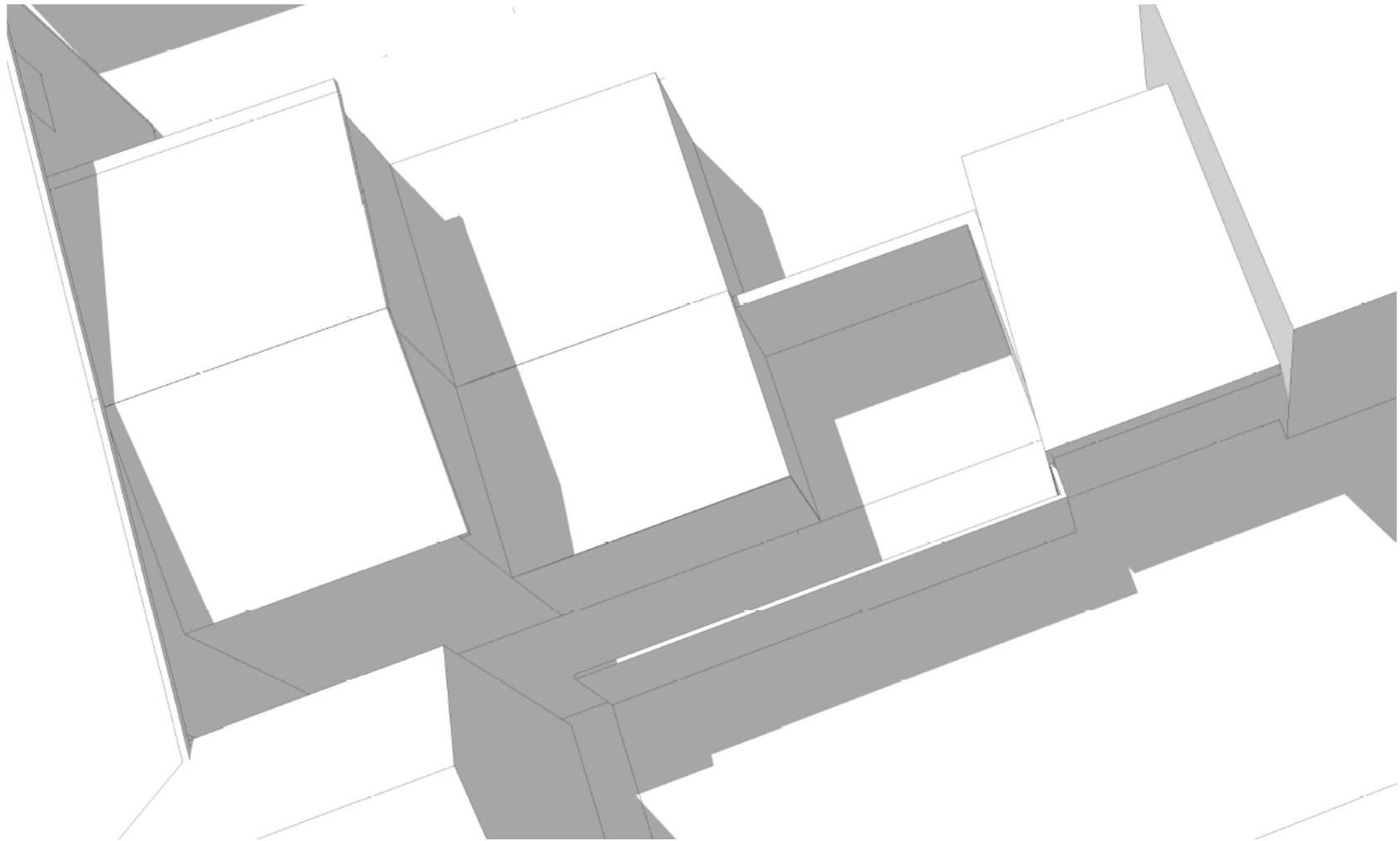
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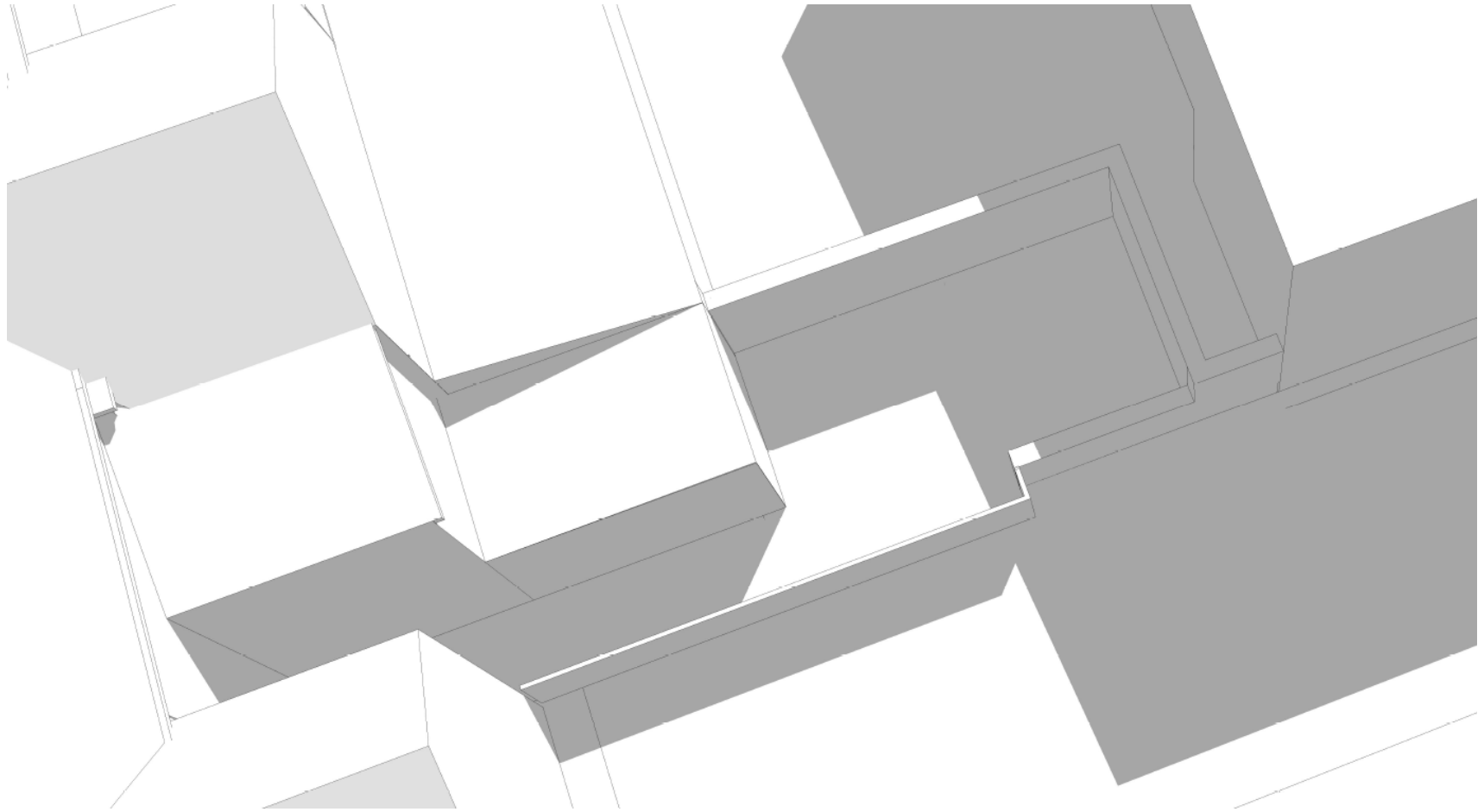
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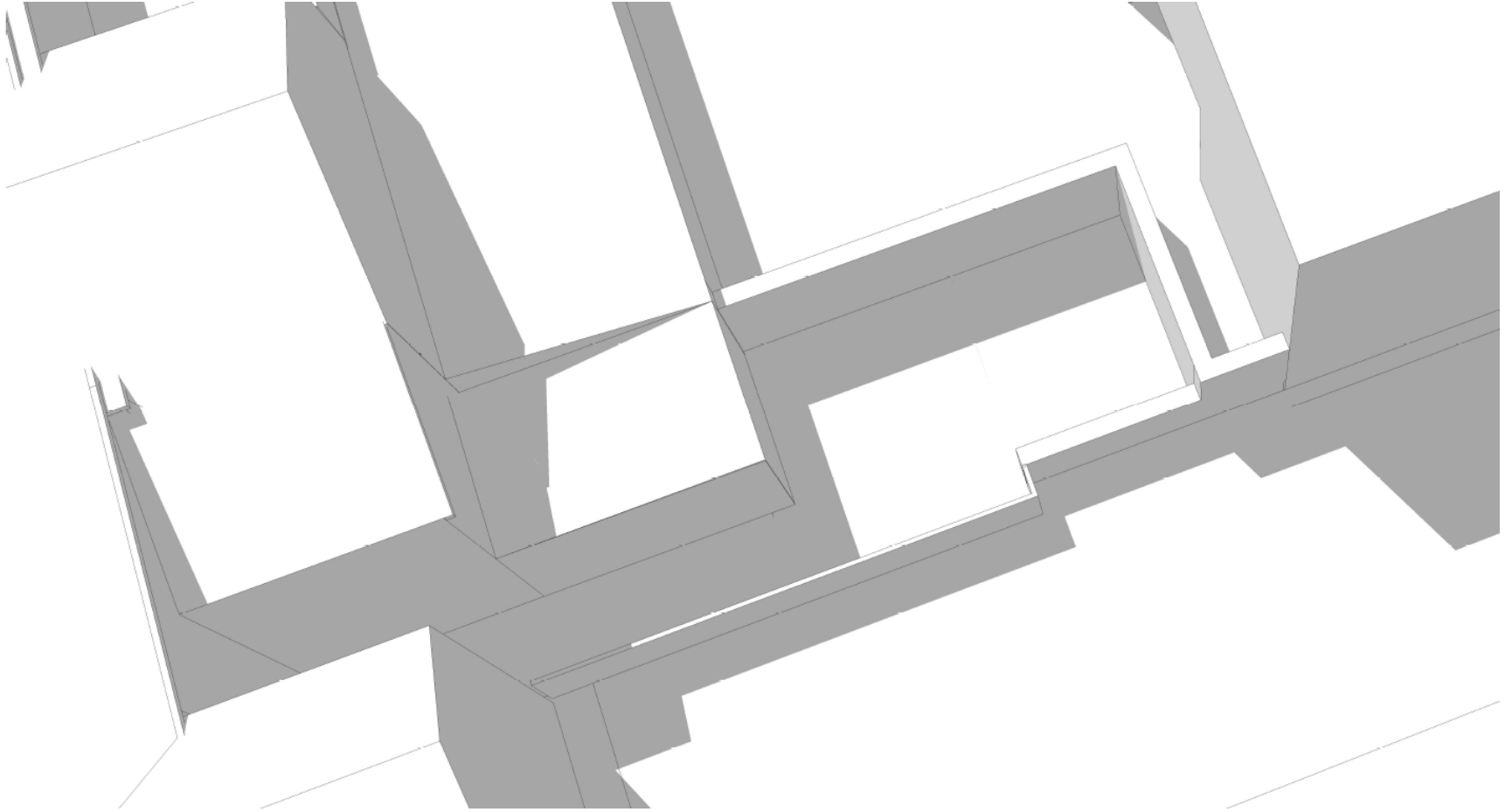
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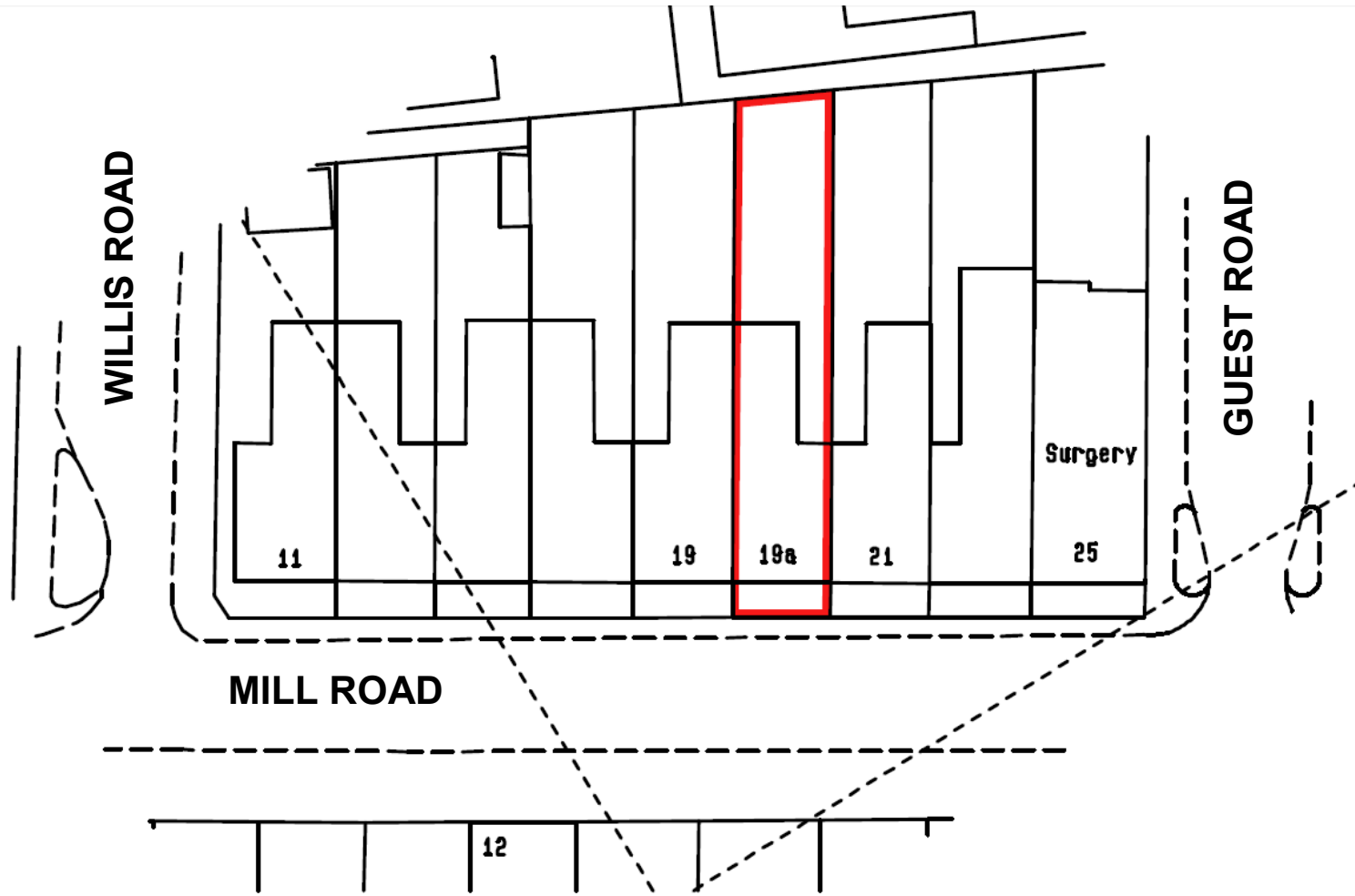
Proposed: Summer solstice – 3pm

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Proposed: Summer solstice – noon

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